

City of Rathdrum

PUBLIC WORKS DEPARTMENT
8047 W. Main Street #2
Rathdrum, ID 83858
www.rathdrum.org



Public Works Department
Building Department
208-687-2700 ex123

Planning & Zoning
208-687-2700 ex117
Fax 208-687-1377

PERMIT # _____

RESIDENTIAL

JOB ADDRESS: _____

LOT: _____ BLK: _____ SUBDIVISION: _____

CONTRACTOR/OWNER: _____

ADDRESS: _____

CONTACT: _____ PHONE: _____

EMAIL ADDRESS: _____

ARCHITECT: _____ PHONE: _____

ENGINEER: _____ PHONE: _____

PLEASE CHECK CATEGORIES:

NEW CONSTRUCTION
 COMMERCIAL/INDUSTRIAL
BUILDING USE _____
 MOBILE HOME SET
 SIGN
 OTHER _____

ALTERATION/ADDITION
 RESIDENTIAL
 SINGLE FAMILY
 DUPLEX
 MULTI-FAMILY
 RE-ROOF

CONSTRUCTION COST (estimate or actual): _____

HEAT SOURCE: GAS ELECTRIC

POINTS OF CONNECTION:

SEWER LOCATION: _____ Stubbed to lot YES NO

WATER LOCATION: _____ Stubbed to lot YES NO

SIGNATURE: _____

NAME (Print): _____

THIS APPLICATION DOES NOT AUTHORIZE ANY TYPE OF WORK TO COMMENCE. A BUILDING PERMIT WILL BE ISSUED AFTER REVIEW OF THIS APPLICATION AND NECESSARY PLANS FOR BUILDING, MECHANICAL, PUBLIC WORKS, AND ZONING CODE COMPLIANCE.

BUILDING DEPT APPROVAL: _____

PUBLIC WORKS APPROVAL: _____

**CITY OF RATHDRUM
RESIDENTIAL BUILDING PERMIT APPLICATION
CHECK LIST**

- ▶ Completed application and all forms with signatures
Mechanical Permit, Utility Form, Performance Bond Agreement, Sewer Service, Right-of-Way Encroachment
 - Site plan with dimensions of your lot and set back requirements for your zoning
 - Demonstrate complete prescriptive compliance from IRC N1102.1 Climate Zone 5 values on the plan
 - Rescheck energy compliance certificate (rescheck must match plan)
 - Duct and air handler location (if in unconditioned space duct leakage testing is required)
 - HVAC requirements for residential: Manual 'J' calculations, Manual 'D' calculation and duct work layout (in color with size and connector specs)
 - Manufacture performance data sheets
 - Duct leakage test if ducts are located in unconditioned space at rough in mechanical and framing inspection.
 - Envelopes air seal method either blower door or inspection per IRC Table 1102.4.2

- ▶ TWO complete set of construction plans, drawn to scale showing the following:
 - Elevations on all sides
 - Floor plans of all floor levels, showing electrical, window sizes, door sizes, location of smoke detectors
 - Show location of furnace and hot water heater
 - Footing and foundation details (engineering required for foundation walls over eight(8) feet high and retaining walls over four(4) feet high)
 - Complete framing details (showing all structural and nonstructural components)
 - Roof details – truss specifications
 - Deck details
 - Dimensions clearly marked on the plans and drawn to scale

NOTE:
ONE SET OF THE APPROVED PLANS WILL BE STAMPED BY THE BUILDING DEPARTMENT, AND MUST REMAIN ON THE JOB SITE AT ALL TIMES WITH ENGINEERED TRUSS SHEETS AS NEEDED.

BUILDING / PUBLIC WORKS - STANDARDS

RATHDRUM BUILDING DEPARTMENT

NOTICE

EFFECTIVE IMMEDIATELY, THE OWNER/CONTRACTOR WILL BE RESPONSIBLE FOR THE JOB CARD, ENGINEERED TRUSS SHEETS, AND THE STAMPED SET OF PLANS. THESE MUST BE MADE AVAILABLE TO THE INSPECTOR AT THE BUILDING SITE ON THE REQUESTED DATE AND TIME OF INSPECTION.

IF SUCH WORK, FOR WHICH THE INSPECTION WAS CALLED, IS NOT READY OR IF THE PLANS AND JOB CARD ARE NOT AVAILABLE ON SITE TO THE INSPECTOR, A REINSPECTION FEE MAY BE ASSESSED.

REQUIRED INSPECTIONS:

1. FOOTINGS
2. STEMWALL OR SLAB
3. FRAMING
4. INSULATION - per International Energy Conservation Code
5. SHEETROCK
6. FINAL

RATHDRUM PUBLIC WORKS DEPARTMENT

NOTICE

REQUIRED INSPECTIONS:

1. WATER & SEWER LINE (prior to backfill)
2. CONCRETE FORMS (prior to pour) for driveway, sidewalk, and approach.
3. FINAL

TO SCHEDULE INSPECTION FOR EITHER OF THE ABOVE, YOU WILL NEED YOUR BUILDING PERMIT NUMBER. 24 HOURS NOTICE REQUIRED.

BUILDING PERMIT# _____

**CITY OF RATHDRUM
UTILITY DEPARTMENT BILLING SECTION**

THIS NOTICE IS TO INFORM YOU THAT YOU WILL BE REQUIRED TO PAY FOR ANY WATER/SEWER USAGE DURING CONSTRUCTION. IF YOU SELL THE PROPERTY, YOU MUST INFORM THE BUYER OF THE NEED TO CONTACT CITY HALL TO CHANGE THE BILLING ACCOUNT TO THEIR NAME. IF THE BUYER DOES NOT DO THIS, YOU WILL CONTINUE TO BE BILLED FOR WATER/SEWER USAGE FOR THE PROPERTY.

****OCCUPANCY OF THE PREMISES PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY WILL RESULT IN DISCONNECTION OF WATER SERVICE UNTIL A CERTIFICATE IS ISSUED.****

I UNDERSTAND AND AGREE TO THE ABOVE

SIGNATURE

PRINTED NAME

MAILING ADDRESS

PHONE NUMBER (S)

**CITY OF RATHDRUM
PERFORMANCE BOND AGREEMENT**



PERMIT # _____

BUILDERS NAME: _____

DBA: _____

ADDRESS: _____

PHONE # _____

I DO UNDERSTAND THAT THE PUBLIC WORKS DEPARTMENT HAS BEEN EMPOWERED BY THE CITY COUNCIL THROUGH ORDINANCE #345 TO WITHHOLD THE CERTIFICATE OF OCCUPANCY ON THE ABOVE REFERENCED BUILDING PERMIT UNTIL ALL AREAS OF THE BUILDING SITE AND/OR RIGHT OF WAY INSTALLATIONS OR IMPROVEMENTS ARE IN COMPLIANCE WITH ALL STANDARDS AND REQUIREMENTS OF THE CITY OF RATHDRUM.

IN ACCORDANCE WITH ORDINANCE #345, IF ALL STANDARDS AND REQUIREMENTS HAVE NOT BEEN MET, I WILL BE REQUIRED TO POST A MINIMUM OF A **\$2,000.00** PERFORMANCE BOND TO THE PUBLIC WORKS DEPARTMENT. (AMOUNTS OVER **\$2,000.00** TO BE DETERMINED BY THE PUBLIC WORKS DIRECTOR.) UPON PAYMENT OF THE PERFORMANCE BOND, THE CERTIFICATE OF OCCUPANCY WILL BE RELEASED BY THE PUBLIC WORKS DEPARTMENT.

REFUND OF THE PERFORMANCE BOND SHALL BE MADE AFTER BUILDING SITE AND RIGHT OF WAY INSTALLATIONS AND/OR IMPROVEMENTS HAVE BEEN BROUGHT INTO COMPLIANCE WITH ALL STANDARDS AND REQUIREMENTS OF THE CITY OF RATHDRUM, AS DETERMINED BY THE PUBLIC WORKS DIRECTOR.

AFTER THE INITIAL INSPECTION, EACH RE-INSPECTION REQUIRED SHALL BE DEDUCTED FROM THE PERFORMANCE BOND REFUND AT THE RATE OF **\$100.00** PER INSPECTION.

IF ALL REQUIREMENTS AND STANDARDS HAVE NOT BEEN MET WITHIN THIRTY (30) DAYS AFTER THE PERFORMANCE BOND HAS BEEN POSTED, THE PERFORMANCE BOND SHALL BE FORFEITED TO THE CITY OF RATHDRUM. (IN THE EVENT OF ADVERSE WEATHER CONDITIONS, WHICH PREVENT INSPECTION OR REPAIRS, THE PUBLIC WORKS DIRECTOR MAY EXTEND THE THIRTY DAY FORFEITURE REQUIREMENT.)

I DO UNDERSTAND AND AGREE TO ABIDE BY THE ABOVE REQUIREMENTS

BUILDERS SIGNATURE: _____

DATE: _____

City of Rathdrum
 Building Department
 8047 W Main Street #2
 Rathdrum, ID 83858
 208-687-2700



MECHANICAL PERMIT APPLICATION

PERMIT# _____

JOB SITE- STREET ADDRESS: _____
 LOT: _____ BLK: _____ SUBDIVISION: _____

CONTRACTOR: _____ LICENSE# _____
 ADDRESS: _____ CITY/STATE/ZIP: _____
 CONTACT NAME: _____ PHONE: _____

OWNER NAME: _____ PHONE: _____
 ADDRESS: _____ CITY/STATE/ZIP: _____

CONSTRUCTION COST (ESTIMATE OR ACTUAL) \$ _____

TYPE OF WORK TO BE DONE: _____

UTILITY TYPE: (circle one) GAS ELECTRIC BOTH

PERMIT TYPE:

<input type="checkbox"/> COMMERCIAL	<input type="checkbox"/> NEW	<input type="checkbox"/> ADDITION
<input type="checkbox"/> RESIDENTIAL	<input type="checkbox"/> NEW	<input type="checkbox"/> ADDITION
<input type="checkbox"/> MANUFACTURE HOME	<input type="checkbox"/> NEW	<input type="checkbox"/> ADDITION
<input type="checkbox"/> OTHER MECHANICAL INSTALLATION	<input type="checkbox"/> NEW	<input type="checkbox"/> ADDITION

SIGNATURE OF APPLICANT: _____
This application does not authorize any type of work to commence. A building permit will be issued after review of this application and necessary plans for building, mechanical, public works, and zoning code compliance. By signing this permit, application signee certifies that the mechanical has been sized per manual 'J' with the ducts installed per manual 'D'.

BUILDING DEPARTMENT APPROVAL: _____
 DATE: _____



CITY OF RATHDRUM
 PUBLIC WORKS DEPARTMENT
 8047 W Main Street
 Ph: 208-687-2700 ext: 124
 Fax: 208-687-1377
www.rathdrum.org



CALL 811
 CALL BEFORE YOU DIG

Right-of-Way Encroachment / Inspection Permit

PERMIT # _____

REQUIRED FEES

DATE ISSUED _____
 PROPERTY OWNER _____
 JOB ADDRESS _____
 PHONE _____

ADMINISTRATION/R-O-W	\$ _____
SIDEWALK, CURB, APPROACH	\$ _____
SEWER INSPECTION	\$ _____
WATER INSPECTION	\$ _____
STORMWATER INSPECTION	\$ _____
ROAD CUT	\$ _____
ROAD BORE	\$ _____
TOTAL FEES	\$ _____

APPLICANT / PERMITEE / CONTRACTOR

NAME _____
 ADDRESS _____
 PHONE _____

SCOPE OF WORK _____

BUILDING PERMIT # _____
 (If applicable)

NOTICE: This permit becomes null and void if work, encroachment or construction authorized is not commenced and completed within 180 working days. All provisions of laws and ordinances governing this type of permit will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any state or local law regulating construction or the performance of construction. **Required inspections must be made. Inspectors must be notified at least twenty-four (24) hours in advance.** The applicant hereby agrees that the responsibility of the City to inspect the work and work site does not relieve the permittee of the duty to keep the site safe at all times and to perform work in a manner required by City ordinances and other applicable laws. Applicant/permittee hereby covenants to protect the City and save the City harmless from all claims, actions or damages of every kind and description which may accrue to or be suffered by any person or persons, corporation, or property by reason of the performance of any work done under this permit, character of materials used, or manner of installation, maintenance and operation or by the improper occupancy of right-of-way or public place or public structure and in case any suit or action is brought against said City for damages arising out of, or by reason of any of the work or construction done under this permit, the applicant/permittee, it's successors or assigns will, upon notice to it of commencement of such action, defend the same at applicant/permittee's sole cost and expense and will satisfy any judgment after said permit or action shall have been finally determined, if adverse to the City. Any damage or deficiency to the site or within the right-of-way becomes the responsibility of the permittee unless the Public Works Inspector is notified of such damages prior to issuance of this permit. All improvements within the right-of-way shall be warranted by the permittee for a period of one year.

I do understand and agree to abide by the above requirements.

SIGNATURE _____ ISSUED BY _____

_____ Applicant has been given standard drawings for the work to be done.

Approved by: _____ Public Works Department Date: _____



RESIDENTIAL HVAC SYSTEM DESIGN FORM

AGENCY USE ONLY
MECHANICAL PERMIT #:
BUILDING PERMIT #:
ELECTRONIC SUBMITTAL: YES: NO:
PLEASE COMPLETE ALL APPLICABLE FIELDS BELOW
DESIGNATED CONTACT PERSON
NAME:
PHONE: CELL:
EMAIL:

MECHANICAL CONTRACTOR
CONTRACTOR NAME:
LICENSE NUMBER: PHONE: EMAIL:

ATTACHMENTS
REQUIRED ATTACHMENTS
MANUFACTURER'S PERFORMANCE DATA SHEET
MANUAL D WORKSHEETS
DUCT DISTRIBUTION LINE DRAWINGS
CHOOSE ONE (1) OF THE FOLLOWING:
MANUAL J1 FORM & WORKSHEET:
MJ1AE FORM & WORKSHEET:
OTHER APPROVED FORM & WORKSHEETS:

HVAC LOAD CALCULATIONS (FROM WORKSHEET; PER 2012 IRC M1401.3)
DESIGN CONDITIONS:
WINTER DESIGN CONDITIONS:
OUTDOOR TEMPERATURE:
INDOOR TEMPERATURE:
TOTAL HEAT LOSS: BTU
SUMMER DESIGN CONDITIONS:
OUTDOOR TEMPERATURE:
INDOOR TEMPERATURE:
LATENT HEAT GAIN: BTU
TOTAL HEAT GAIN: BTU
BUILDING CONSTRUCTION INFORMATION:
BUILDING:
NUMBER OF BEDROOMS:
CONDITIONED FLOOR AREA: SQ. FT.
NUMBER OF OCCUPANTS: BEDROOMS + 1
WINDOWS:
EAVE OVERHANG DEPTH: FT
U-FACTOR:
OF SKYLIGHTS:
DIRECTION ORIENTATION OF FRONT DOOR:

HVAC EQUIPMENT SELECTION (PER 2012 IRC M1401.3)
HEATING EQUIPMENT DATA:
EQUIPMENT TYPE:
MANUFACTURER:
MODEL NUMBER:
HEATING CAPACITY:
COOLING EQUIPMENT DATA:
EQUIPMENT TYPE:
MANUFACTURER:
MODEL NUMBER:
TOTAL COOLING CAPACITY:
BLOWER DATA:
HEATING CFM:
COOLING CFM:
STATIC PRESSURE:

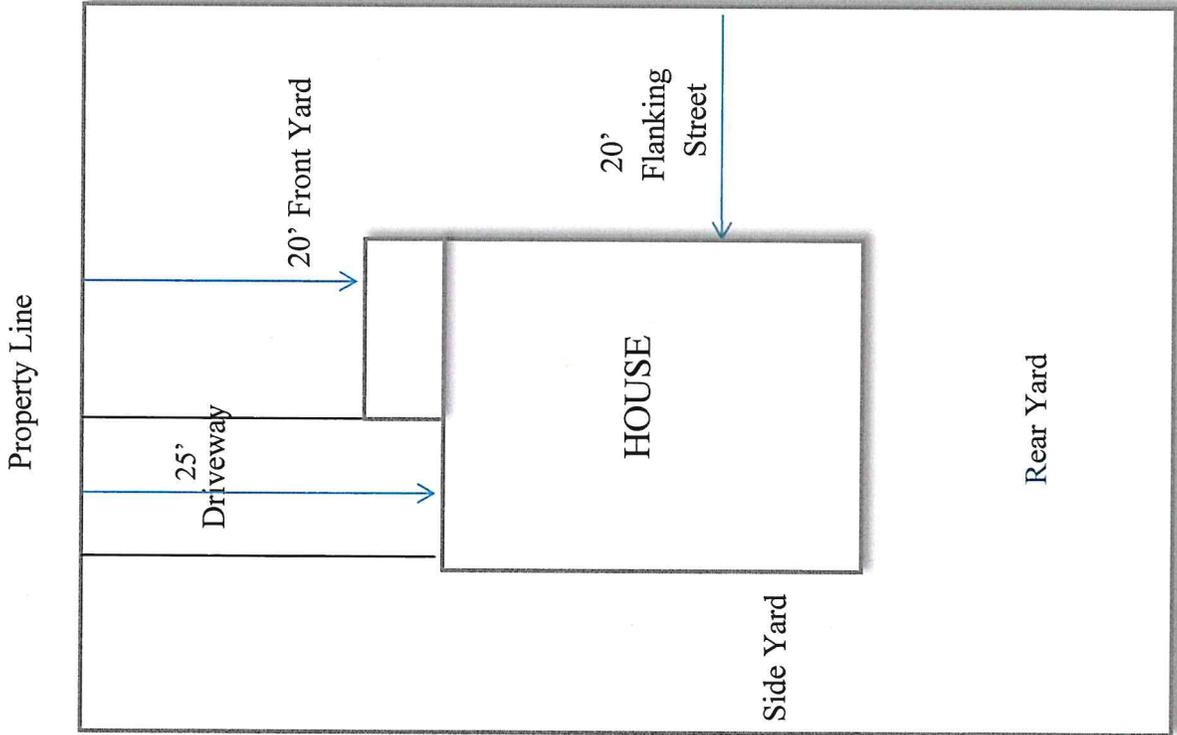
HVAC DUCT DISTRIBUTION DESIGN (PER 2012 IRC M1601.1)
DESIGN AIRFLOW:
EXTERNAL STATIC PRESSURE:
COMPONENT PRESSURE LOSSES:
AVAILABLE STATIC PRESSURE:
LONGEST SUPPLY RUN:
LONGEST RETURN RUN:
TOTAL EFFECTIVE LENGTH:
FRICTION RATE:
TRUNK TYPE (SELECT 1) DUCT BOARD: SHEET METAL: FLEX: OTHER:
BRANCH TYPE (SELECT 1) DUCT BOARD: SHEET METAL: FLEX: OTHER:
(AVAILABLE STATIC PRESSURE = ESP-CPL) (FRICTION RATE= ASP x 100/TEL)

THE LOAD CALCULATIONS, EQUIPMENT SELECTION AND DUCT SYSTEM DESIGN WERE PERFORMED BASED ON THE PLANS AS SUBMITTED FOR A BUILDING PERMIT. THE EQUIPMENT AND DUCT DESIGN AS APPROVED WILL BE INSTALLED IN THE FIELD
OWNER OR AUTHORIZED AGENT SIGNATURE DATE
(PRINT NAME)
IF HOME QUALIFIES FOR MJ1AE FORM BASE ON ABRIDGE EDITION CHECKLIST

STANDARD RESIDENTIAL SET-BACKS



EXAMPLE: Site Plan of Property



	R-1	R-2S	R-2	R-2D	R-3
Minimum Lot Size	10,000 Sq. Ft.	7,500 Sq. Ft.	7,500 Sq. Ft.	7,500 Sq. Ft.	6,000 Sq. Ft. 1,500 sf per add'l unit
Front Yard*	25'	20'	20'	20'	20'
Flanking Street	20'	20'	20'	20'	20'
Side Yard	10'	8'	7'	8'	6'
Rear Yard	20'	20'	15'	20'	10'
Maximum Lot Coverage	35%	35%	35%	35%	35%
Maximum Bldg Height	35'	35'	35'	35'	35'

***MINIMUM DRIVEWAY LENGTH:**

25' from structure to property line-excluding sidewalk.
 ACCESSORY BUILDINGS:
 Maximum height: 22' to peak of roofline
 Footprint no larger than the primary residential structure or 1,200 sf, whichever is greater.

SETBACK EXCEPTIONS:

Accessory structure smaller than three hundred (300) square feet of floor area may be located to within not less than five feet (5') of any side or rear property line, or within a distance of one-half (1/2) the building wall height closest to the property line, whichever distance is greater.
 Accessory structures exceeding three hundred (300) square feet of floor area with a building wall height closest to the property line that is no more than fifteen feet (15') may be located to within not less than five feet (5') of a side or rear property line providing that sloped roofs shall not be located closer than ten feet (10') from any side or rear property line. If the wall closest to the property line is greater than fifteen feet (15'), the buildings or structures shall be located an additional one foot (1') of distance from the property line for every additional two feet (2') in height over fifteen feet (15').

11-5-2: RESIDENTIAL STANDARDS:

A. Multi-Family Residential Use Standards: Multi-family residential uses of five (5) or more dwelling units shall be required to meet commercial development and performance standards related to site plan reviews and required site improvements, frontage improvements, parking, maneuvering, landscaping and buffering, and trash receptacles as detailed in section [11-5-3](#) of this chapter and as otherwise required by this code.

B. Residential Landscaping: It is the intent of this section to protect and preserve the appearance, character and value of surrounding neighborhoods. Residential development should complement the visual character of the landscape and not cause visual deterioration or destruction so as to be an asset to the community.

1. Minimum Requirements: Minimum requirements are as set forth below:

a. Not more than fifty percent (50%) of any yard adjacent to, fronting on or flanking a street shall be impervious surfacing, including but not limited to pavement (concrete, asphalt) pavers and gravel. Such surfacing shall exclude public sidewalks/pathways and private pathways of up to five feet (5') in width which provide entrance to the dwelling(s) on the property. Provisions for maintaining stormwater on the property shall be provided for all impervious surfaces.

b. Any yard adjacent to, front on or flanking a street which is not covered with impervious surfacing shall be landscaped.

c. "Landscaped," "landscaping" or "landscaped area" shall mean that area of land covered with at least seventy-five percent (75%) living vegetative material such as lawn grass, ground cover, trees, shrubs, vegetables and flowers, and which may incorporate up to twenty-five percent (25%) ornamental landscaping materials.

i. Ornamental landscaping materials which may be utilized include round or irregular rock which allows for water infiltration, boulders, landscape bark (note that the City recommends landscape bark should not be located within five feet (5') of structures to reduce fire hazard) and mulch, including rubber mulch. Rock or unwashed/unscreened gravel with "fines" (finely crushed or powdered material) and artificial turf shall not be utilized.

ii. Installation of landscaping shall include preventive measures intended to reduce the necessary maintenance activities, particularly the incidence of weed growth.

iii. Xeriscape landscaping may be utilized to reduce the required vegetated area to fifty percent (50%) upon City approval of a detailed landscape plan which demonstrates compliance with the "City of Rathdrum Xeriscape Guide" as adopted by the city council and subject to the other provisions of this Chapter.

d. Trees: One tree shall be planted within each yard area of each public street frontage of each residential lot. One tree shall be planted for each dwelling unit's public street frontage for duplex lots. Trees may be planted in stormwater swale/treatment areas only when they do not interfere with the drainage function of the swale/treatment area.

Required landscape trees shall be trees selected from the landscape standards manual adopted by the city council and shall have a minimum size at time of planting as follows:

Type	Minimum Plant Size
Deciduous trees	1 ¹ / ₂ inches minimum caliper
Evergreen trees	6 feet minimum height

Existing trees on a site should be retained to the maximum extent possible. Credit may be given for incorporating existing trees into the landscaping design if it meets the intent of this section.

2. A permanent, underground and automatic irrigation system including an approved backflow prevention device shall be installed and permanently maintained in all required landscaped areas for new residential development.

3. It is the responsibility of the property owner or tenant to ensure all lawn and landscaped areas shall be continuously maintained in a healthy growing condition, which shall be a pest-free condition (free of harmful insects, diseases, and weed infestations). If living tree, shrub and/or other plant materials are damaged or destroyed by any means, they shall be replaced with suitable materials in suitable quantities. The property owner or tenant shall ensure that lawn grass height does not exceed ten inches (10") in height and that other vegetation is maintained to prevent intrusion into right-of-way or adjacent property. No vehicle, trailer, recreational vehicle or structure shall be placed, parked or stored within any required lawn or landscaped area.

4. Certificate Of Occupancy: No certificate of occupancy shall be issued until replacement of topsoil and planting of required trees has been completed, except where a "provisional certificate of occupancy" is approved.

5. Provisional Certificate Of Occupancy: The administrator may authorize a delay in the completion of landscaping or tree planting due to causes beyond the control of the developer provided an appropriate performance surety in the amount of one hundred fifty percent (150%) of cost estimates for the required installation is in place. In no event shall a final certificate of occupancy be issued until all required improvements have been constructed in accordance with accepted standards.

6. Administrative relief of landscaping requirements may be granted by the administrator based on standards detailed in RCC 11-5-3 A5; however, additional landscaping provisions may be required.

C. Residential Driveways, Approaches And Parking Requirements: Residential driveways, approaches and parking shall meet the following standards:

1. Not more than fifty percent (50%) of the lot frontage shall be driveway or impervious surfacing as found in B.1.a. of this Chapter, except as provided herein for duplexes.

2. Driveway Length: Residential driveways shall be a minimum of twenty five feet (25') in length, or shall be paved to the front of the garage, whichever is greater, exclusive of any sidewalk or pathway.

a. Exception: Lots platted prior to September 2003 may have driveway lengths no less than twenty feet (20') excluding sidewalk.

3. Approach: Only an approved approach as described within this title shall be utilized to access property from right-of-way. Vehicles shall not cross over stormwater drainage easements and/or planting strips, unreinforced sidewalks, or other areas not permitted and intended as paved driving or parking surface.

4. Driveway Width: The minimum driveway width shall be ten feet (10') of driving surface and the maximum driveway width within the approach, stormwater swale/landscape strip and sidewalk area shall be thirty feet (30') of driving surface, plus six feet (6') for wings.

5. Off Street Parking: A minimum of two (2) off street parking spaces shall be provided per single-family residential dwelling unit. Driveways meeting standards set forth herein constitute parking space(s), however, garages shall not constitute a parking space(s) for the purpose of this requirement. Parking shall not block sidewalks or pathways.

6. Surfacing: All residential approaches/points of access from public rights-of-way, driveways and parking spaces as required by this code shall be paved with hot asphalt, portland cement concrete, or approved paving blocks or bricks.

a. Additional parking and drives accessed from an existing approved paved approach and driveway may be graveled, subject to compliance with the other provisions of this Chapter. Landscape borders, such as landscape timbers, blocks, or curbing shall be used to protect sidewalks, swales/landscape strips and required landscaped areas from intrusion by gravel and vehicles.

b. Paving shall not be utilized within required easements. Pavement and impervious surfacing, including gravel, shall not be utilized within two feet (2') of any side or rear property line. Such area shall be retained for the provision of stormwater and/or landscaping.



ATTENTION BUILDING CONTRACTORS

BEFORE CALLING OUR OFFICE FOR YOUR FINAL INSPECTION, WE ARE REQUIRING THAT ALL OTHER INSPECTIONS BE SIGNED OFF – SUCH AS THE PLUMBING AND ELECTRICAL. ONCE THESE ARE COMPLETED AND THE JOB CARD IS COMPLETE, WE WILL GLADLY PRINT YOUR CERTIFICATE OF OCCUPANCY IN A TIMELY FASHION. ALL CONCRETE SIDEWALKS, APPROACHES, DRIVEWAY, ETC NEED TO COMPLY WITH CITY STANDARDS.

BY SIGNING THIS NOTICE, YOU ACKNOWLEDGE THAT YOU ARE AWARE OF THE CITY OF RATHDRUM REQUIREMENTS.

CALLING FOR A FINAL INSPECTION BEFORE YOU ARE READY COULD RESULT IN AN 100.00 REINSPECTION FEE

CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED IF THESE MATERIALS ARE PRESENT PER CITY CODE 4-1-4: ALL REFUSE OF EVERY NATURE, DESCRIPTION OR KIND WHICH HAS RESULTED FROM THE CONSTRUCTION OF ANY STRUCTURE AND REMAINS AFTER THE STRUCTURE IS COMPLETED, INCLUDING ALL LUMBER SCRAPS, SHINGLES, PLASTER, BRICK, STONE, CONCRETE AND OTHER BUILDING MATERIALS.

CONTRACTOR/AGENT

DATE

THANK YOU FOR YOUR CONSIDERATION



City of Rathdrum

Public Works Department
8047 W Main Street
Rathdrum, ID 83858
208-687-2700

IRRIGATION & SPRINKLER SYSTEMS **Backflow Prevention Methods**

Sprinkler systems are considered *high hazard*.

PVB – Pressure Vacuum Breaker:

Used in a system which is under pressure more than 12 hours. Should be installed 12” above highest head in each zone to allow free drainage of surrounding ground. No chemicals can be injected or mixed into the system. No pressure source may exist on sprinkler side of device.

AVB – Atmospheric Vacuum Breaker:

Used in a system under pressure less than 12 hours a day. Shall be installed 6” above surrounding ground and above a sufficient number of heads, as not to subject VB to back pressure or drainage. ***NO SHUT-OFF VALVES DOWNSTREAM*** of this device. No chemicals can be injected or mixed into the system. No pressure source may exist on sprinkler side of device.

RP – Reduced Pressure Backflow Prevention Device:

Approved on any irrigation system. This device must be set a minimum of 12” above ground level or above flood level.

ALL DEVICES SHALL BE TESTED BY A STATE CERTIFIED TESTER WHEN INSTALLED, REPAIRED, AND A MINIMUM OF ONCE A YEAR. THEREAFTER, THE CITY OF RATHDRUM SHALL BE NOTIFIED UPON INSTALLATION, REPAIR AND TESTING.

NOTE:

- Section 608 International Plumbing Code
- The piping above ground shall be galvanized or copper
- Dual check valves are not approved for sprinkler systems

City of Rathdrum

PUBLIC WORKS DEPARTMENT

8047 W. Main Street #2

Rathdrum, ID 83858-6476

www.rathdrum.org



Public Works Department

Building Department

(208) 687-2700 x16

Parks & Recreation

(208) 687-2399

Planning & Zoning

(208) 687-2700 x17

Fax (208) 687-1377

MECHANICAL – METER UNLOCKS:

Over the past couple of years we've noticed an increase in requests for turn-ons related to drying out sheetrock in new homes. This practice has at times created an unsafe condition, and can cause long-term maintenance issues and possibly premature equipment failure.

It's been a long standing regulation that no meter will be unlocked until all the piping has been inspected and pressure tested by the local authority having jurisdiction. This practice will continue, and in addition, Avista has implemented some criteria for new natural gas installations that we believe will enhance safety and code compliance. Most of these items are already covered by code, and will likely not change the way you are currently operating.

In addition to the piping inspection, the following things must be done before the gas meter will be unlocked:

1. The furnace must be placed in it's permanent location
2. The piping must be appropriately sized for the furnace
3. The furnace must be controlled by a thermostat with proper wiring
4. The cold air return must be completed, including an air filter fitted to its assigned location
5. The furnace must be properly vented
6. The gas line must have a proper appliance valve in place with a flex connector per code
7. All other gas lines in the home must have an appliance valve in place and a cap or plug installed in the appliance valve

It's our hope that these measures will insure a safer installation. Please don't hesitate to contact us if you have questions.

Bill Baker

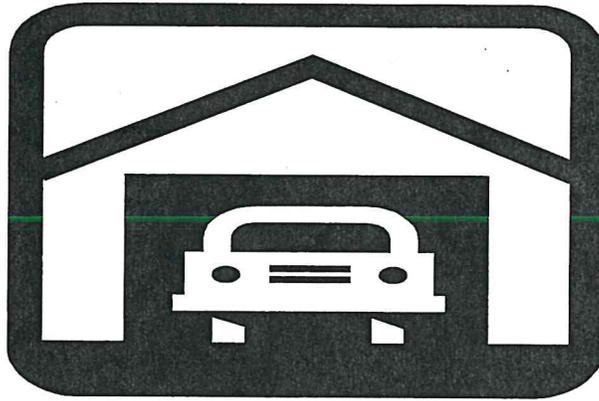
Avista Codes & Training Coordinator

(509) 889-6103

City of Rathdrum

(208) 687-2700

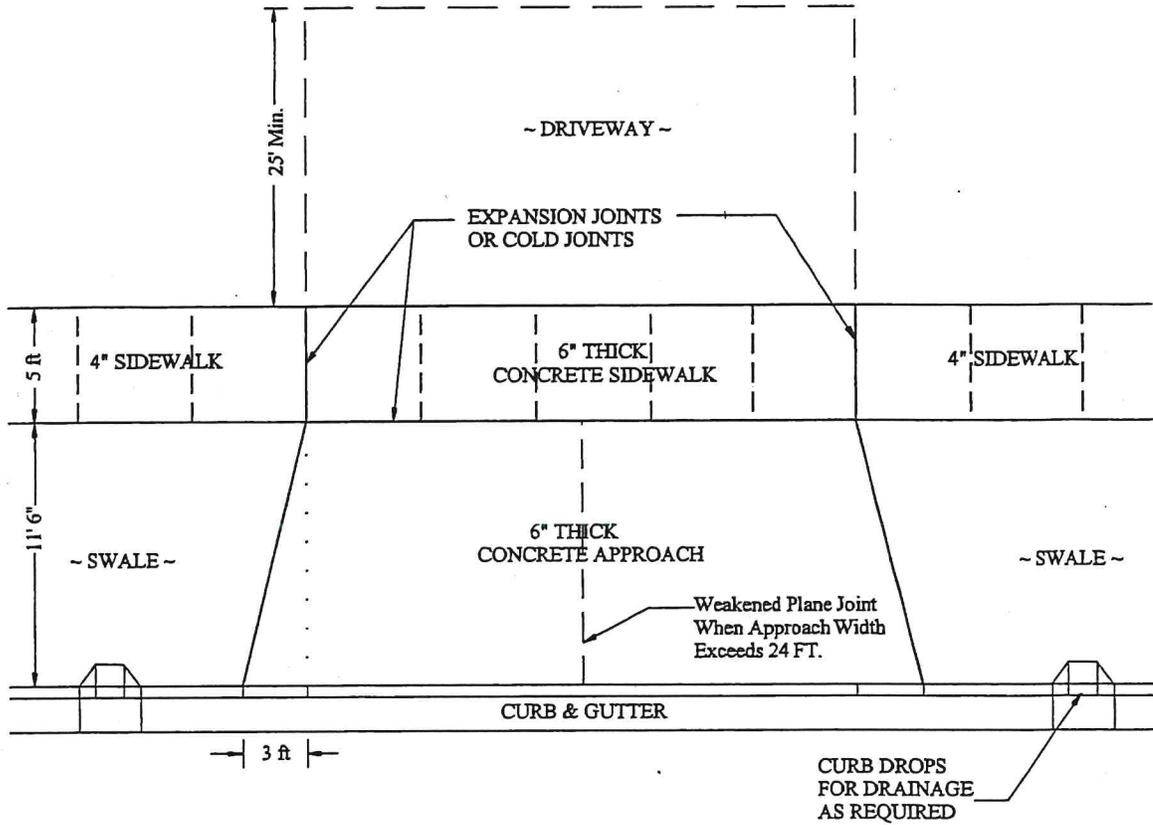
GARAGES ARE NOW REQUIRED IN RATHDRUM



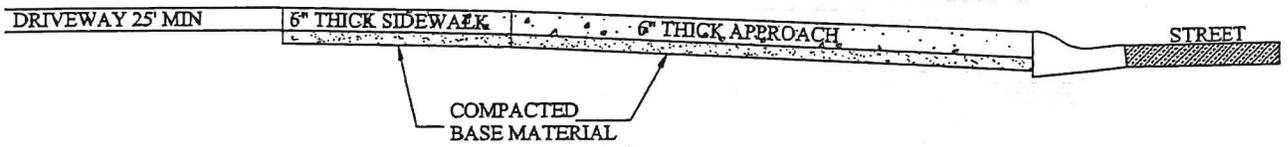
ALL NEW SINGLE FAMILY RESIDENTIAL STRUCTURES AND DUPLEXES SHALL HAVE A GARAGE CONSTRUCTED OF THE SAME TYPE MATERIAL AS THE DWELLING STRUCTURE. IF THE DWELLING UNIT HAS TWO OR MORE BEDROOMS, THE MINIMUM GARAGE SIZE SHALL BE A TWO-CAR GARAGE.

EXCEPTION: LOTS PLATTED PRIOR TO 1945 MAY SEEK AN ADMINISTRATIVE RELIEF FROM THE PLANNING ADMINISTRATOR FROM THE GARAGE REQUIREMENT.

ORDINANCE #449



Plan
DRIVEWAY APPROACH
 No Scale

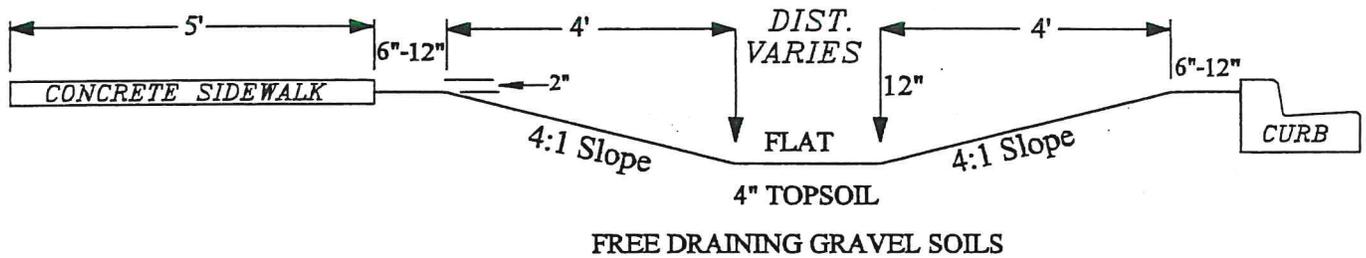


Profile
 No Scale

- NOTES:
1. Minimum Residential Approach Width 16 ft.
 2. Curb Drops may be required both sides of approach for provision of additional street drainage.
 3. All curb replacement must be inspected prior to pouring concrete.
 4. Cold joints required in sidewalk at 5' intervals with Expansion joints required at 20' intervals.
 5. Concrete shall have a 28 day compressive strength of 3000 PSI.

CITY OF RATHDRUM
STANDARD DRIVEWAY APPROACH

APPROVED BY:
Ch. Anderson 3/15/66
 Public Works Director Date



No Scale

NOTES:

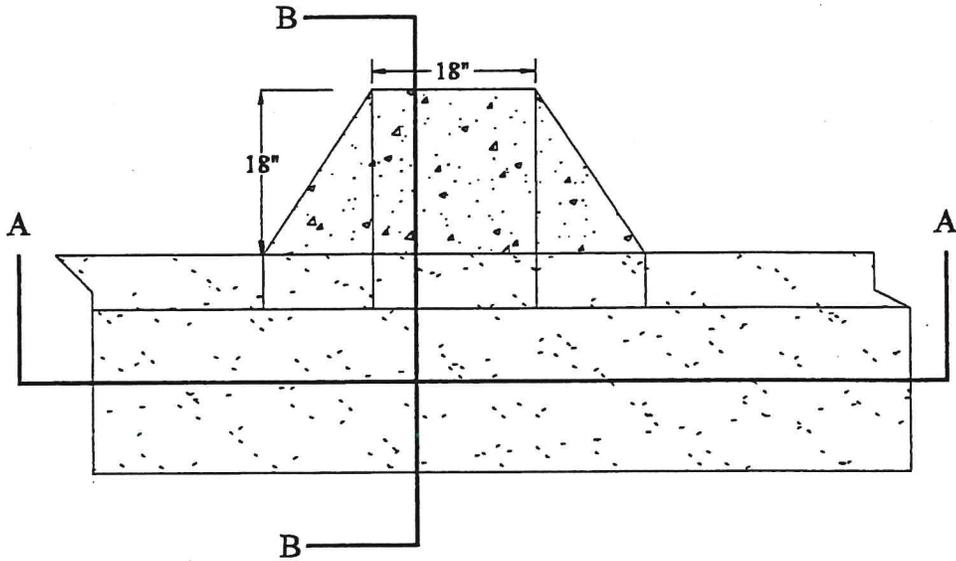
1. Maximum 3:1 slopes; Preferred 4:1 slopes.
2. Drywell topgrates 6" above swale bottoms.
3. Maximum 6" uncompacted & seeded topsoil.
4. All swales shall have a minimum infiltration rate of 0.5"/hr.
5. Culverts & piping for drainage NOT ALLOWED under driveway approaches -
6. Positive drainage flows must be provided from curb flowlines in/out swales.
7. Flat bottom swale required - No "V" ditchlines.

CITY OF RATHDRUM

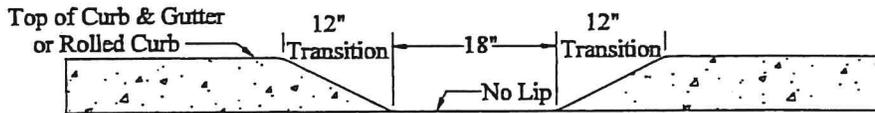
TYPICAL SWALE DESIGN

APPROVED BY:

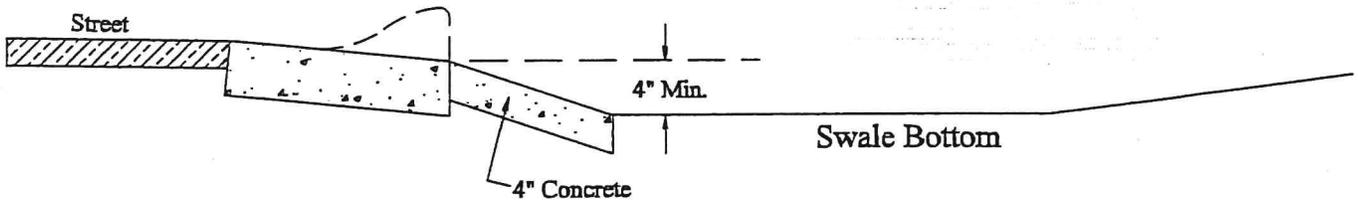
Chet Anderson 12/30/05
Public Works Director Date



Plan View
No Scale



SECTION A-A
No Scale



SECTION B-B
No Scale

NOTES:
Concrete spillway apron required for Grassy Infiltration Area drainage systems (swales)

CITY OF RATHDRUM

CURB DRAIN INLET

APPROVED BY:

Clot Anderson
Public Works Director

1/11/05
Date

NOTICE

EFFECTIVE DECEMBER 1, 1995 PORTABLE
TOILETS WILL BE REQUIRED TO BE PLACED ON
THE SITE OF EACH NEW BUILDING UNDER
CONSTRUCTION.

**NO BUILDING INSPECTIONS WILL BE DONE ON ANY SITE
WITHOUT A PORTABLE TOILET.**

THANK YOU
THE BUILDING DEPARTMENT

CITY OF RATHDRUM
PUBLIC WORKS DEPARTMENT



NOTICE:

THERE WILL BE NO WORK

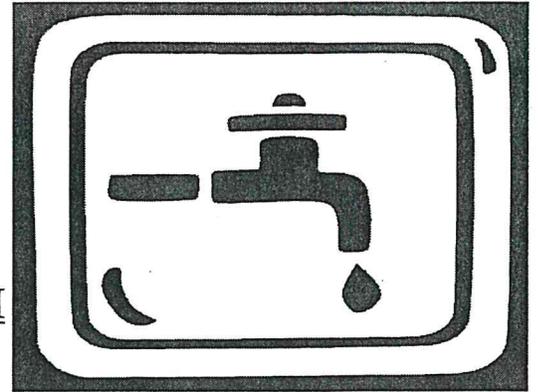
DONE IN THE

CITY RIGHT-OF-WAY

AFTER DECEMBER 1st



CITY OF RATHDRUM WATER SYSTEM



SHOULD THE WATER PRESSURE AT YOUR LOCATION BE MORE THAN 60 PSI, THE PUBLIC WORKS DEPARTMENT IS RECOMMENDING THAT A PRESSURE REDUCING VALVE BE INSTALLED IN YOUR WATER CONNECTION.

PLEASE NOTE:

PERMISSION MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT PRIOR TO TAKING WATER FROM CITY HYDRANTS



WOOD FRAME RESIDENTIAL STRUCTURES

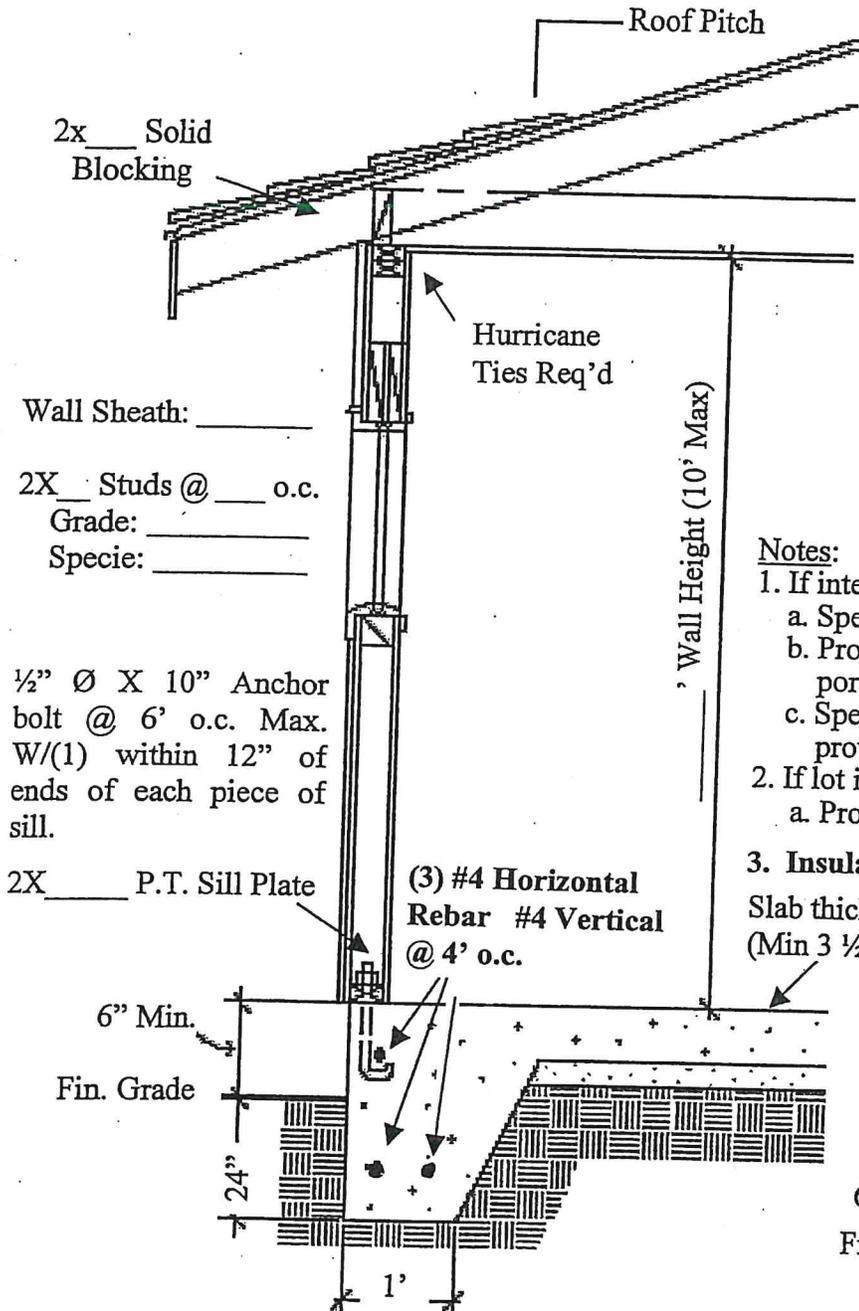
Roofing: _____
 Sheathing: _____

Roof Framing:
 If using manufactured trusses, provide a copy of the truss sheet from the truss manufacturer or specify:

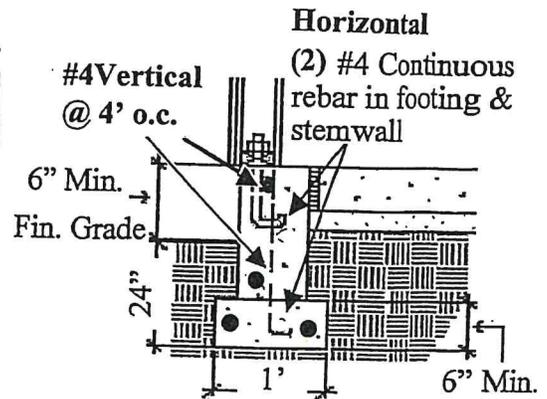
2X _____ Rafters @ _____" o.c.
 Specie: _____, Grade: _____
 2X _____ Ceiling Joists @ _____" o.c.
 Specie: _____, Grade: _____

Notes:

1. If interior is finished,
 - a. Specify finish material
 - b. Provide Min. 22" X 30" attic access if any portion of attic is greater than 30" in height.
 - c. Specify how attic ventilation will be provided.
2. If lot is not flat,
 - a. Provide elevations showing finished grade.
3. **Insulation required in all heated structures.**
 Slab thickness _____"
 (Min 3 1/2")



WALL SECTION - MONOLITHIC SLAB



TYPICAL SINGLE STORY STEM WALL FOOTING

Wall Sheath: _____

2X _____ Studs @ _____ o.c.
 Grade: _____
 Specie: _____

1/2" Ø X 10" Anchor bolt @ 6' o.c. Max. W/(1) within 12" of ends of each piece of sill.

2X _____ P.T. Sill Plate

(3) #4 Horizontal Rebar #4 Vertical @ 4' o.c.

6" Min.
 Fin. Grade

#4 Vertical @ 4' o.c.

6" Min.
 Fin. Grade

Horizontal (2) #4 Continuous rebar in footing & stem wall

24"

6" Min.

